



City of Fitchburg  
Planning/Zoning Department  
5520 Lacy Road  
Fitchburg, WI 53711  
(608-270-4200)

## ARCHITECTURAL & DESIGN REVIEW APPLICATION

Applicant/Contact Person: James Spahr

Address: 6880 CTH M Phone Number of Contact Person: 608-235-6499

City, State, Zip Code: Verona, WI 53593 Email of Contact Person: AJSPAH@charter.net

Project Address: 5253 Verona Road Lot: \_\_\_\_\_ Subdivision: \_\_\_\_\_

Project Type: \_\_\_\_\_ Multi-Family \_\_\_\_\_ Commercial ☒ Industrial \_\_\_\_\_ Other  
\_\_\_\_\_ New \_\_\_\_\_ Addition

Impervious Surface Ratio (ISR): \_\_\_\_\_ (City Standard: maximum 65% ISR)

All items listed below must be included with the application to be considered complete. If an item is not included with the application, the applicant must provide in writing the basis for not including it. Building and site plans submitted to the Fitchburg Plan Commission for architectural and design review shall contain the following information:

### Site Data:

- |                                     |  |
|-------------------------------------|--|
| <input checked="" type="checkbox"/> | 1. Lot or property dimensions.   |
| <input checked="" type="checkbox"/> | 2. Orientation (to north).   |
| <input checked="" type="checkbox"/> | 3. Adjacent highways, roads, drive, etc.   |
| <input checked="" type="checkbox"/> | 4. Existing natural features (rivers, ponds, wetlands).  |
| <input checked="" type="checkbox"/> | 5. Existing buildings and/or improvements.   |
| <input checked="" type="checkbox"/> | 6. Existing and proposed site drainage.  |
| <input checked="" type="checkbox"/> | 7. Utility plans, including main/lateral sizes and existing fire hydrants on site or within 300 feet of the site |
| <input checked="" type="checkbox"/> | 8. ISR shall be indicated on all plans.  |
| <input checked="" type="checkbox"/> | 9. Stormwater management plans and details.  |
| <input type="checkbox"/>            | 10. Lighting plan in footcandles and light fixture cut sheets.   |

### Building:

- |                                     |  |
|-------------------------------------|--|
| <input checked="" type="checkbox"/> | 1. Building size, configuration and orientation.                     |
| <input checked="" type="checkbox"/> | 2. Distance from lot lines.  |
| <input checked="" type="checkbox"/> | 3. Distance from other buildings, improvements and natural features. |
| <input checked="" type="checkbox"/> | 4. Location of well, septic tank, drainfield, etc. (if applicable)   |
| <input checked="" type="checkbox"/> | 5. Additional proposed additions or new structures.                  |
| <input checked="" type="checkbox"/> | 6. Construction type (wood frame, structural steel, etc.).           |
| <input checked="" type="checkbox"/> | 7. Foundation type (full basement, slab on grade, etc.).             |
| <input checked="" type="checkbox"/> | 8. Number of levels.   |
| <input checked="" type="checkbox"/> | 9. Siding/exterior covering type, color, texture, etc.               |
| <input checked="" type="checkbox"/> | 10. Roof type (gable, hip, shed, flat, etc.) and pitch.              |
| <input checked="" type="checkbox"/> | 11. Roofing material type, color, texture, etc.                      |
| <input checked="" type="checkbox"/> | 12. Exterior door and window location, size, type, etc.              |
| <input checked="" type="checkbox"/> | 13. Fire protection sprinklers or fire alarm systems.                |

### Ingress, Egress, Parking:

- |                                     |   |
|-------------------------------------|---|
| <input checked="" type="checkbox"/> | 1. Location of highway and road access points.                        |
| <input checked="" type="checkbox"/> | 2. Location, size, configuration of drives and walks.                 |
| <input checked="" type="checkbox"/> | 3. Number, size, location of parking spaces.                          |
| <input checked="" type="checkbox"/> | 4. Location of handicapped parking and accessible building entrances. |
| <input checked="" type="checkbox"/> | 5. Bicycle rack(s).   |

**Landscaping:**

- ☒ 1. Location, species, size of existing trees, shrubs, and plantings.
- ☒ 2. Location, species, size of proposed plantings.
- ☒ 3. Location and size of all paved, seeded/sodded and gravelled areas.
- ☒ 4. Location of all retaining walls, fences, berms and other landscape features.

**\*It is highly recommended that an applicant hold at least one neighborhood meeting prior to submitting an ADR application to identify any concerns or issues of surrounding residents.**

The preceding information is considered to be the minimum information for submission, and the City may require additional information for its review. Any interpretations provided by city officials as the result of submitting the attached information are based on the submitted plans, and any plan changes, may affect the interpretations.

It is the responsibility of the owner/applicant to insure compliance with all local and state requirements. The below signed applicant acknowledges the above information and hereby submits the attached information for the City's Architectural and Design Review Process.

Signed: \_\_\_\_\_

Applicant or Authorized Agent

Date: \_\_\_\_\_

9/22/15

**\*\*\* Application shall be accompanied by one (1) sets of full-size plans, two (2) sets no larger than 11"x17", and one (1) pdf document of the complete submittal to [planning@fitchburgwi.gov](mailto:planning@fitchburgwi.gov). Applications are due at least 4 weeks prior to the desired Plan Commission Meeting. The time frame assumes a complete set of plans is provided, and if it is not provided the Plan Commission date will be adjusted.**

**FOR CITY USE ONLY**

Date Received: \_\_\_\_\_

9/22/2015

Plan Commission Date: \_\_\_\_\_

Comments: \_\_\_\_\_

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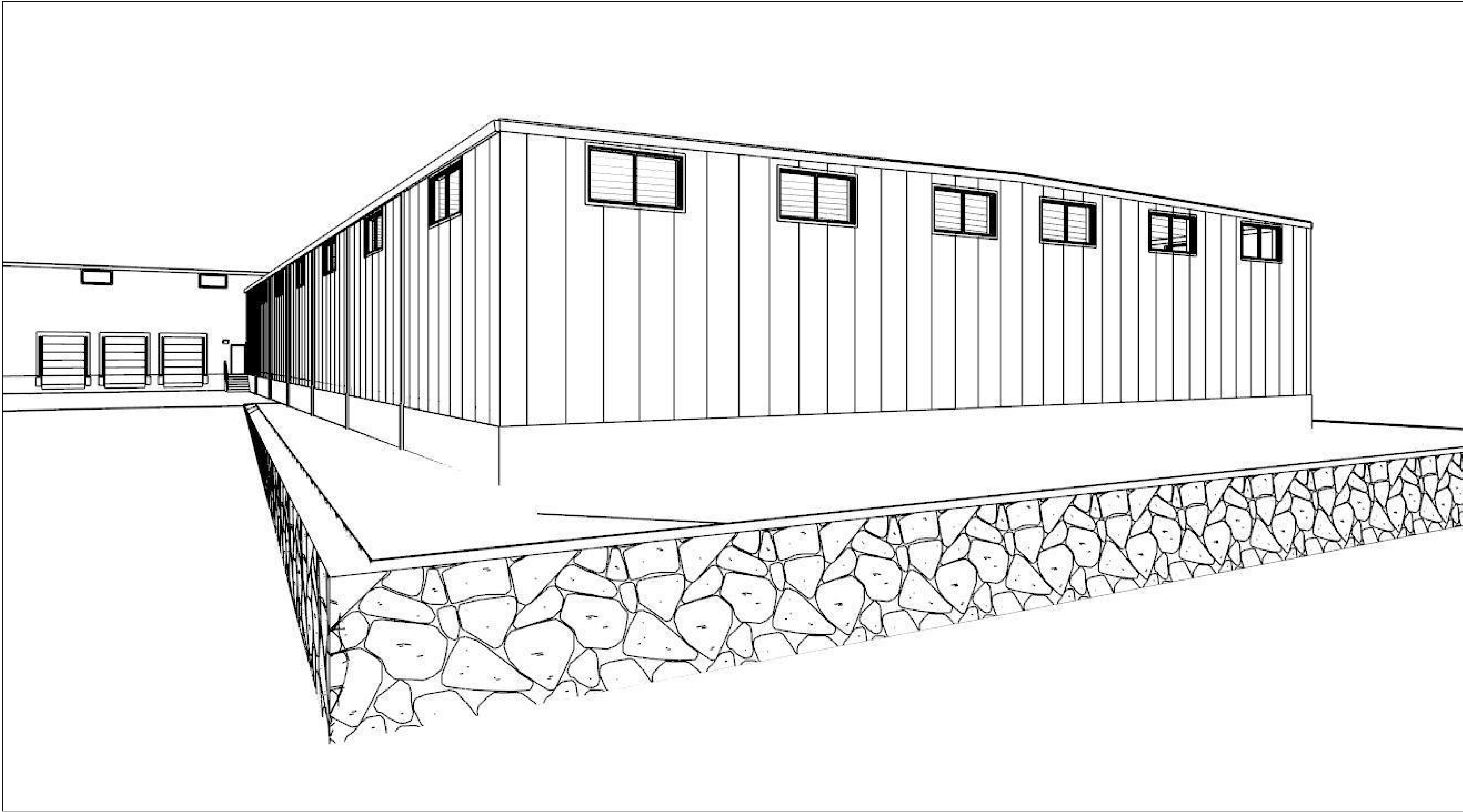
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# Addition to Saris Cycling Group for Lionshare Group, LLC



## General Contractor

**Lionshare Group, LLC**  
5396 King James Way, Suite 220  
Madison, WI 53719  
608-217-9193  
contact: James Spahr, Broker

## Metal Building Designer

**Varco Pruden Buildings**  
3200 Players Club Circle  
Memphis, TN 38125  
901-748-8000  
contact: Tom Lienhardt, District Manager

## Architect

**Bouril Design Studio, LLC**  
6425 Odana Road, Suite 2  
Madison, WI 53719  
608-833-3400  
contact: Robert Lackore, Project Manager

## Civil Engineers

**Wyser Engineering, LLC**  
201 1/2 East Maint Street  
Mount Horeb, WI 53572  
608-843-3638  
contact: Dan Schneider, Principal & Senior Project Engineer

## Stormwater Management

**Montgomery Associates Resource Solutions, LLC**  
119 South Main Street  
Cottage Grove, WI 53527  
608-839-4422  
contact: Deborah Hatfield

## drawing sheet index

- C100 Site Plan
- C101 Park Lot Plan
- C200 Grading & Erosion Control Plan
- L100 Landscape Plan
- A1 Title Page
- A2 Lot Layout Plan
- A3 Foundation Plan
- A4 Slab Plan
- A5 Foundation Details
- A6 Foundation Details
- A7 Floor Plan
- A8 Roof Plan
- A9 Egress Plan
- A10 Exterior Elevations



Graphic Scale



0' 20' 40' 60'

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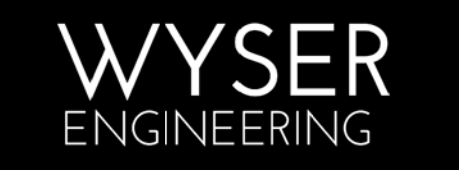


1. UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS PROVIDED TO WYSER ENGINEERING, INFORMATION AVAILABLE ON THE DANE COUNTY GIS SYSTEM (DCIMAP), AND FIELD WORK PERFORMED BY WYSER ENGINEERING ON SEPTEMBER 15, 2015. WYSER ENGINEERING SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF ERONEOUS OR INCOMPLETE INFORMATION PROVIDED BY OTHERS. CONTRACTOR TO CONFIRM ALL ELEVATIONS, GENERAL DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.
2. THE BENCHMARK LOCATIONS ARE SHOWN FOR REFERENCE ONLY ON THIS PLAN. THE BENCHMARKS SHALL BE VALIDATED BY LICENSED LAND SURVEYOR PRIOR TO CONSTRUCTION. CONTRACTOR ASSUMES RISK ASSOCIATED WITH BENCHMARK ELEVATIONS UNTIL CONFIRMED.
3. CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE CITY'S LAND IF REQUIRED.
4. WYSER ENGINEERING SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER OR CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY REGULATORY AGENCIES.
5. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
6. ALL MUNICIPAL UTILITY CONNECTIONS, WORK IN ROW, PUBLIC OUTLOTS AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH CITY OF FITCHBURG STANDARD SPECIFICATIONS.





	PROPOSED PROPERTY BOUNDARY
	EASEMENT
	BUILDING FOOTPRINT
	18\"/>
	ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	GRAVEL PAVEMENT
	TOP OF KETTLE LIMITS (AT OVERFLOW ELEVATION)



1. UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS PROVIDED TO WYSER ENGINEERING, INFORMATION AVAILABLE ON THE DADE COUNTY GIS SYSTEM (DCIMAP), AND FIELD WORK PERFORMED BY WYSER ENGINEERING ON SEPTEMBER 15, 2015, WYSER ENGINEERING SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF ERRONEOUS OR INCOMPLETE INFORMATION PROVIDED BY OTHERS, CONTRACTOR TO CONFIRM ALL ELEVATIONS, GENERAL DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.
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SITE ADDRESS: 5253 VERONA ROAD  
SITE ACREAGE (AFTER ROW TAKING): 10.98 AC (10.637 AC)  
USE OF PROPERTY: MANUFACTURING / WAREHOUSE  
ZONING: B-H

NUMBER OF NEW PARKING STALLS: 50  
TOTAL NUMBER OF PARKING STALLS ON SITE: 111  
ADA STALLS PROPOSED ON SITE: 5

EXISTING PAVEMENT AREA: 99,225 SF  
EXISTING IMPERVIOUS SURFACE AREA: 161,300 SF  
EXISTING IMPERVIOUS SURFACE RATIO: 0.35

TOTAL DISTURBANCE LIMITS: 62,000 SQ. FT.

5253 VERONA ROAD  
FITCHBURG, WI 53711

CITY OF FITCHBURG, DANE COUNTY, WI

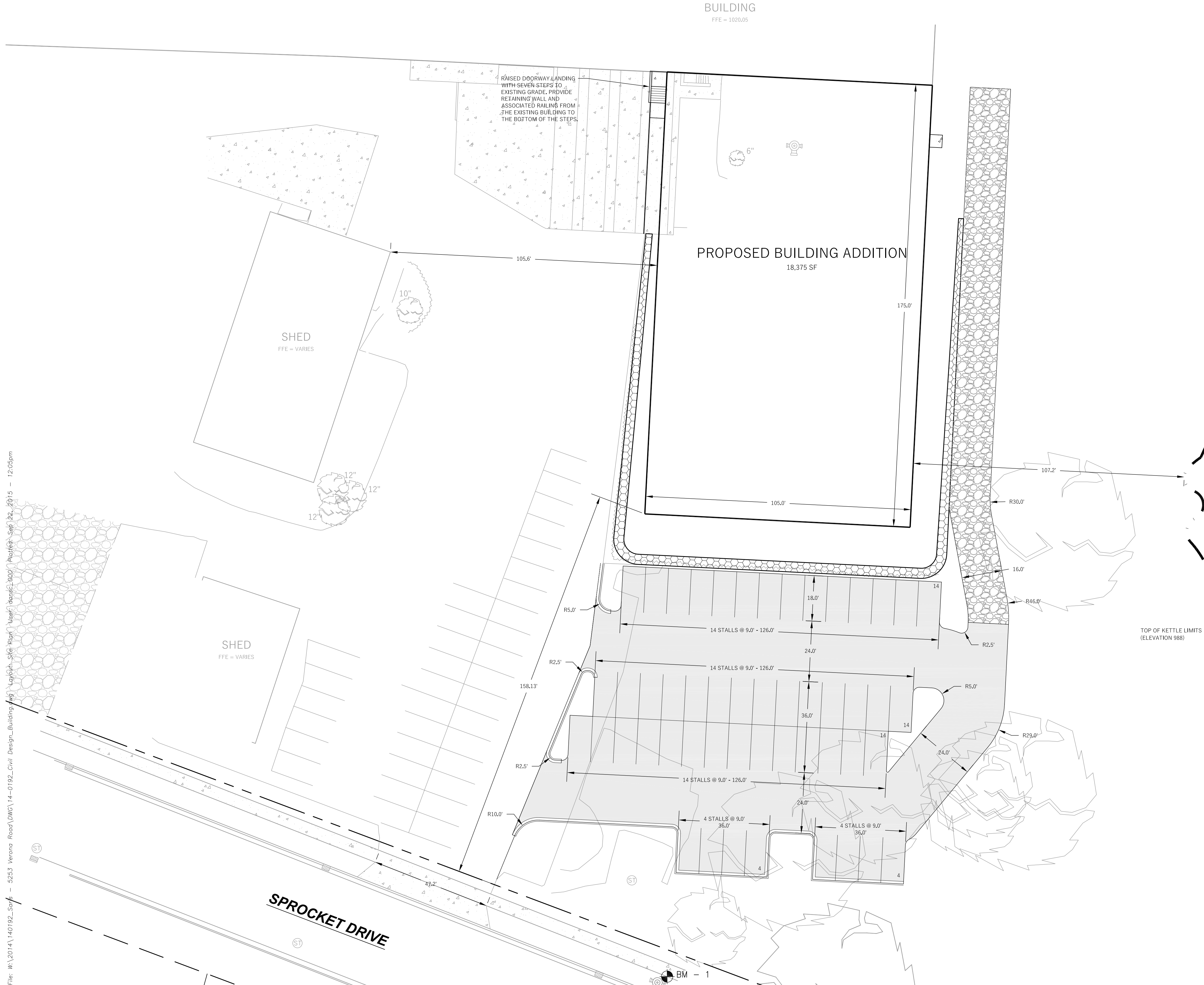
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SITE PLAN

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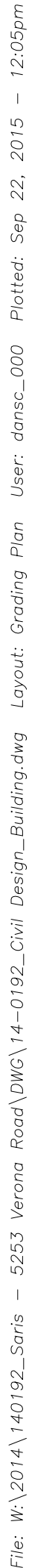
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Set Type	SCHEMATIC

Sheet Number	C101
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NORTH

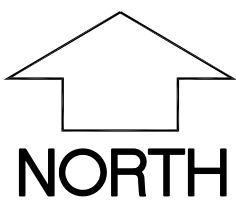
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Sheet Title:

Sheet  
Number C200

Sheet Number	C200
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1. UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS PROVIDED TO WYSER ENGINEERING, INFORMATION AVAILABLE ON THE DANE COUNTY GIS SYSTEM (DCIMAP), AND FIELD WORK PERFORMED BY WYSER ENGINEERING ON SEPTEMBER 15, 2015. WYSER ENGINEERING SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF ERRONEOUS OR INCOMPLETE INFORMATION PROVIDED BY OTHERS, CONTRACTOR TO CONFIRM ALL ELEVATIONS, GENERAL DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.
2. THE BENCHMARK LOCATIONS ARE SHOWN FOR REFERENCE ONLY ON THIS PLAN, THE BENCHMARKS SHALL BE VALIDATED BY LICENSED LAND SURVEYOR PRIOR TO CONSTRUCTION. CONTRACTOR ASSUMES RISK ASSOCIATED WITH BENCHMARK ELEVATIONS UNTIL CONFIRMED.
3. CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE CITY'S LAND IF REQUIRED.
4. WYSER ENGINEERING SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER OR CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY REGULATORY AGENCIES.
5. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
6. ALL MUNICIPAL UTILITY CONNECTIONS, WORK IN ROW, PUBLIC OUTLOTS AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH CITY OF FITCHBURG STANDARD SPECIFICATIONS.

1. GENERAL: LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-382-5544 FOR UTILITY LOCATIONS AT LEAST 5 BUSINESS DAYS PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
2. DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY: IF THIS IS NOT POSSIBLE, PROTECT PLANTS WITH MULCH WITHOUT EXPOSURE TO THE OWNER. PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION, REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO REDDING, EDGING, MULCH, GRASS, ETC. REPAIR DAMAGE TO EXISTING DRIVE OR DRIVEWAY AND DRIVEWAY ADJACENT TO DRIVE AT THE COST TO OWNER. CONTRACTOR SHALL PROVIDE A TWO (2)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
4. MATERIALS - PLANTS: ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI A301. PLANTS RECEIVED SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL-DEVELOPED, AND FREE OF ALL DISEASE AND INSECT DAMAGE. PLANTS SHALL BE FREE OF ALL DISEASE, INJURY, AND DEFECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH. PLANTS SHALL BE OF THE HIGHEST QUALITY. HAVE TYPICAL GROWTH HABITS FOR THEIR SPECIES. BE SOUND, HEALTHY, VIGOROUS AND FREE OF INJURY, PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
5. MATERIALS - SOIL: PLANTING SOIL/COMPACTED TOPSOIL SHALL MEET THESE REQUIREMENTS: PLANTING SOIL TO BE A MINIMUM 6" DEPTH, UNLESS OTHERWISE SPECIFIED AS ABOVE OR ON DETAILS. TOPSOIL TO BE CLEAN, FIBRE-LESS FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM POISONING. SHALL HAVE A pH BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO CONFORM TO THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. DO NOT PLACE FROZEN OR MURDED TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE BEDS PER SOIL TEST.
6. SEEDING: ALL DISTURBED AREAS SHALL BE SEED AS SPECIFIED IN THESE NOTES.
7. MATERIALS - SEED: ALL LAWN SEED SHALL BE EARTH CARPETS' 'BOULEVARD' OR EQUIVALENT AS APPROVED BY THE OWNER'S REPRESENTATIVE. INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO LAWN SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 1/2 LBS PER 1000 SQUARE FEET. FERTILIZE AND MULCH PER MANUFACTURER'S RECOMMENDATIONS.
8. MATERIALS - FERTILIZER AND MULCH: TREES PLANTED IN SPECIFIED LAWN AREAS SHALL RECEIVE 3" DEPTH, FINELY SHREDDED, FINE FREE, HARDWOOD BARK MULCH (DYE-FREE) OVER ENTIRE BED, UNLESS OTHERWISE SPECIFIED ON PLANS. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE OF WISCONSIN REQUIREMENTS.
9. PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD ARBORETRICAL PRACTICES. PROVIDE A 1/2" CLEARANCE FROM ALL BRUISES AND SCARS ON BARK. TRACE THE INJURED CAMBIAL LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER AND COAT THE TREATED AREA WITH AN APPROVED ANTISEPTIC TREE PAINT.
10. CLEANUP: DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL, BRANCHES, BINDING AND WRAPPING MATERIALS, REJECTED PLANTS, OR OTHER DEBRIS RESULTING FROM ANY PLANTING SHALL BE PROMPTLY CLEANED UP AND REMOVED. THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES UNTIL THE CLEANUP OPERATION IS COMPLETED. UNDER NO CONDITION SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UNDER ANY PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC HAZARD. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INJURED MATERIALS BE LEFT ALONE UPON ADJACENT PRIVATE PROPERTY.
11. MAINTENANCE: CONTRACTOR FOR ALL PLANTINGS, BUFFER AREAS AND SEEDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR AT LEAST A PERIOD OF 30 DAYS, OR UNTIL FINAL ACCEPTANCE FROM THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN DURING THIS 30 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS RESPONSIBLE FOR MONITORING PLANTING AND LAWN AREAS FOR DEFICIENCIES OR DEFECTS. DEFICIENCIES OR DEFECTS SHALL BE REPAIRED IMMEDIATELY. CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN/TURFGRASS AREAS THROUGHOUT THE PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION.
12. MAINTENANCE: (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND BARRIERS AS NECESSARY (PER CITY ORDINANCES) FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.

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Graphic Scale	
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Set Type	SCHEMATIC
Date Issued	09/18/2015
Sheet Number	L100



The following abbreviations may be used throughout the document set. Some definitions share a common abbreviation; in these cases the most appropriate definition within the context of the document will prevail.

\\2015 projects\15050 Lionshare Group, LLC\2 Design & Drawings\15050 Layout\about 9/22/2015 - 10:50:45 AM

## material key

These patterns may be used in plan or section to indicate material types. The same pattern may be used for different materials; these material identifications must be made within the context of the drawing. If there is a discrepancy between a text description of a material and a pattern as described in this key, the text description will prevail.

	brick
	plywood, OSB or other sheathing
	concrete
	grout or mortar
	CMU
	cut stone
	stone aggregate or granular fill
	compacted or engineered fill
	earth
	sand or soil fines
	wood (finish trim, board, or molding)
	nominal lumber (board, stud, or timber)
	blocking (cut, planed or trimmed to a non-standard size)
	metal
	rigid insulation board
	loose fill insulation
	spray polyurethane foam insulation
	fiberglass blanket insulation

## symbol key

The following reference marks, symbols, and drafting conventions may be used throughout the document set. Special symbols not identified in this key will be identified on the drawing.

detail reference		detail number	1	A1
		sheet number	1	A1
section reference		section number	1	A1
		sheet number	1	A1
exterior elevation reference		elevation number	1	A1
		sheet number	1	A1
interior elevation reference		elevation number	1	A1
		sheet number	1	A1
structural grid line		grid line designation	A	
match line				
key note reference		note number	1	
revision reference		revision number	1	
level line datum		reference level	1st Subfloor	
		reference elevation	0'-0"	
point datum		reference point	1st slab	
		reference elevation	0'-0"	
elevation datum reference		reference elevation	1st slab	
		reference elevation	4'6" 6"	
door identification		door identification	D1	
window identification		window identification	W1	
wall identification		wall identification	W1	
footing identification		footing identification	F1	

## Construction Line

Hidden Construction Line	_____
Overhead Construction Line	_____
Center Line	_____
Property or Boundary Line	_____
Right of Way Center Line	_____
Setback or Build-to Line	_____
Easement or other described boundary	_____
Electric, buried (OE overhead)	E _____ OE
Telephone, buried (OT overhead)	T _____ OT
Cable, buried (OC overhead)	C _____ OC
Gas	G _____ G
Sanitary Sewer	SAN _____ SAN
Storm Sewer	SS _____ SS
Barrier	_____
Fence	> < _____ > <
Existing Contour	_____ 100 _____
New Contour	_____ 100 _____

1. These notes describe typical project conditions and requirements; exceptions are noted on the plans.
2. If a specification has been published with this project it will govern the project's material and performance requirements. Areas not covered by a specification will be governed by the standards and best practices of the construction trades, related industries, and professional societies. Details, notes, and instructions on the drawing set take precedence. All work will conform to the governing ordinances, codes, and regulations. If a discrepancy cannot be resolved, contact the architect for clarification.
3. The general contractor and subcontractors shall thoroughly familiarize themselves with the scope and nature of the new construction prior to the start of work.
4. The general contractor and subcontractors shall verify existing conditions prior to the start of work. Conditions which differ significantly from those anticipated as shown within these drawings shall be referred to the architect prior to the start of work.
5. All work outside of the area of construction shall be protected from incidental damage. Any damage shall be repaired as new to the owner's satisfaction prior to the completion of construction.
6. The general contractor shall plug and block penetrations through the exterior building envelope to prevent pest and nuisance animal infestation.

municipality  
Fitchburg, Dane County, WI

principal governing codes and ordinances  
Wisconsin Commercial Building Code, Chapters SPS 361-366  
City of Fitchburg Chapter 22 Zoning Ordinance  
City of Fitchburg Chapter 25 Architectural and Design Review Ordinance

address: 5233 Verona Rd, Fitchburg, WI, 53511  
zoning district: B-H Highway Business District  
parcel number: 225/0609-064-8201-2  
description: Section 6 Township 6N Range 9E

minimum lot area: 8,000 square feet  
 minimum lot width: 60 feet  
 minimum front setback: 25 feet  
 minimum side setback: 10 feet  
 side street setback: 20 feet  
 rear setback: 20 feet  
 maximum building height: three stories or 42 feet  
 minimum open space: 15%  
 minimum impervious surface ratio: 65%

F-1 moderate-hazard group  
Type IIB construction  
pre-engineered steel frame metal building  
slab on grade  
single story above grade plane  
protected with an NFPA 13 automatic sprinkler system  
no required fire separation from adjacent F-1 occupancy

the existing Group B area is separated from the Group F areas with a 2-hour fire wall  
the new and existing Group F areas are treated as a single building for area calculations  
tabulated area limitation = 15,500 square feet  
sprinkler area increase for a single-story above grade plane = 300%  
building perimeter with a frontage greater than 20 feet = 1,145 feet  
portion of the building perimeter with a frontage of 22 feet = 23%  
portion of the building perimeter with a frontage of 30 feet or greater = 77%  
weighted average of frontage = 25 feet  
frontage area increase = 61%  
calculated area limitation is 15,500 + 46,500 + 9,455 = 71,455 square feet  
actual area of new + existing building = 67,175 square feet

primary function is industrial  
tabulated occupant allowance = 100sqft gross per occupant  
calculated occupant load for new area is  $18,375 / 100 = 19$  occupants  
number of required exits based on occupant load = 1  
common path of egress travel = 100 feet  
exit access travel distance = 250 feet

A1	title page
A2	lot layout plan
A3	foundation plan
A4	slab plan
A5	foundation details
A6	foundation details
A7	floor plan
A8	roof plan
A9	egress plan
A10	exterior elevations

# Concept Design

Sto 2 Madison WI 53719

**Addition to Saris Cycling Group for  
Lionshare Group, LLC**  
5253 Verona Rd, Fitchburg, WI, 53511

project: 15058  
date: 9/22/20  
drawn by: RLL

# A1



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Lot Layout Notes

1. Lot layout information is taken from drawings provided by Myser Engineering as commissioned by the Owner.
2. This lot layout is schematic and is intended only for reference. Refer to the drawings by others for site data, grading, utilities, parking, lighting, landscaping, etc.



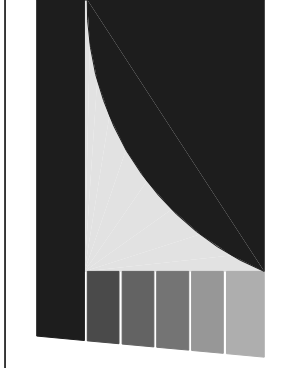
1

lot layout plan

scale: 1" = 50'-0"

revision index		
#	date	reference

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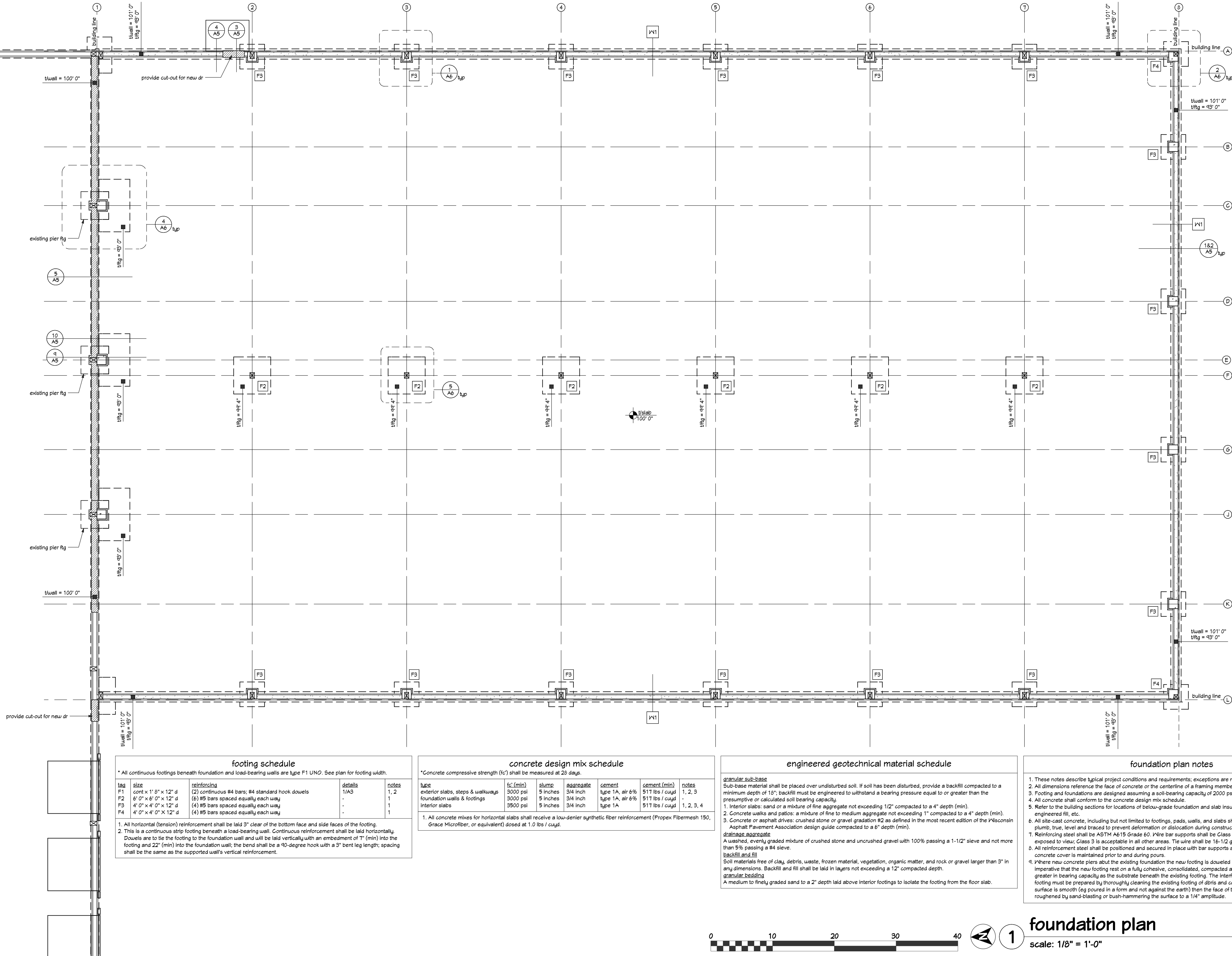
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footing schedule				
* All continuous footings beneath foundation and load-bearing walls are type F1 UNO. See plan for footing width.				
lag	size	reinforcing	details	notes
F1	cont x 1' 0" x 12" d	(2) continuous #4 bars; #4 standard hook dowels	1/A3	1, 2
F2	6' 0" x 6' 0" x 12" d	(6) #5 bars spaced equally each way	-	1
F3	4' 0" x 4' 0" x 12" d	(4) #5 bars spaced equally each way	-	1
F4	4' 0" x 4' 0" x 12" d	(4) #5 bars spaced equally each way	-	1

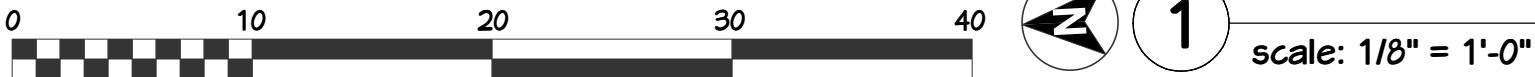
1. All horizontal (tension) reinforcement shall be laid 3" clear of the bottom face and side faces of the footing.  
2. This is a continuous strip footing beneath a load-bearing wall. Continuous reinforcement shall be laid horizontally. Couels are to tie the footing to the foundation wall and will be laid vertically with an embedment of 1" (min) into the footing and 22" (min) into the foundation wall; the bend shall be a 90-degree hook with a 3" bent leg length; spacing shall be the same as the supported wall's vertical reinforcement.

concrete design mix schedule						
*Concrete compressive strength (fc') shall be measured at 28 days.						
type	fc' (min)	slump	aggregate	cement	cement (min)	notes
exterior slabs, steps & walkways	3000 psi	5 inches	3/4 inch	type 1A, air 6%	517 lbs / cu yd	1, 2, 3
foundation walls & footings	3000 psi	5 inches	3/4 inch	type 1A, air 6%	517 lbs / cu yd	-
interior slabs	3500 psi	5 inches	3/4 inch	type 1A	517 lbs / cu yd	1, 2, 3, 4

1. All concrete mixes for horizontal slabs shall receive a low-denier synthetic fiber reinforcement (Propex Fibermesh 150, Grace Microfiber, or equivalent) dosed at 1.0 lbs / cu yd.

engineered geotechnical material schedule	
granular sub-base	
Sub-base material shall be placed over undisturbed soil. If soil has been disturbed, provide a backfill compacted to a minimum depth of 18"; backfill must be engineered to withstand a bearing pressure equal to or greater than the presumptive or calculated soil bearing capacity.	
1. Interior slabs: sand or a mixture of fine aggregate not exceeding 1/2" compacted to a 4" depth (min).	
2. Concrete walls and piers: a mixture of fine to medium aggregate not exceeding 1" compacted to a 4" depth (min).	
3. Concrete or asphalt drives: crushed stone or gravel gradation #2 as defined in the most recent edition of the Wisconsin Asphalt Pavement Association design guide compacted to a 6" depth (min).	
drainage aggregate	
A washed, evenly graded mixture of crushed stone and uncrushed gravel with 100% passing a 1-1/2" sieve and not more than 5% passing a #4 sieve.	
backfill and fill	
Soil materials free of clay, debris, waste, frozen material, vegetation, organic matter, and rock or gravel larger than 3" in any dimensions. Backfill and fill shall be laid in layers not exceeding a 12" compacted depth.	
granular bedding	
A medium to finely graded sand to a 2" depth laid above interior footings to isolate the footing from the floor slab.	

foundation plan notes		
1. These notes describe typical project conditions and requirements; exceptions are noted on the plans.		
2. All dimensions reference the face of concrete or the centerline of a framing member unless noted otherwise.		
3. Footing and foundations are designed assuming a soil-bearing capacity of 2000 psf and a weight of 150 pcf.		
4. All concrete shall conform to the concrete design mix schedule.		
5. Refer to the building sections for locations of below-grade foundation and slab insulation, barrier membranes, engineered fill, etc.		
6. All site-cast concrete, including but not limited to footings, pads, walls, and slabs shall be formed. All forms shall be plumb, true, level and braced to prevent deformation or dislocation during construction.		
7. Reinforcing steel shall be ASTM A615 Grade 60. Wire bar supports shall be Class 1 or Class 2 where concrete is exposed to view; Class 3 is acceptable in all other areas. Tie wire shall be 16-1/2 gauge or heavier, black annealed.		
8. All reinforcement steel shall be positioned and secured in place with bar supports and wire ties to ensure minimum concrete cover is maintained prior to and during pour.		
9. Where new concrete piers abut the existing foundation the new footing is dovetailed into the existing footing. It is imperative that the new footing rest on a fully cohesive, consolidated, compacted and stable substrate equal to or greater in bearing capacity as the substrate beneath the existing footing. The interface between the existing and new footing must be prepared by thoroughly cleaning the existing footing of debris and contaminants; if the existing footing surface is smooth (eg poured in a form and not against the earth) then the face of the existing footing must be roughened by sand-blasting or bush-hammering the surface to a 1/4" amplitude.		



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project: 15053  
date: 4/22/2015  
drawn by: RLL

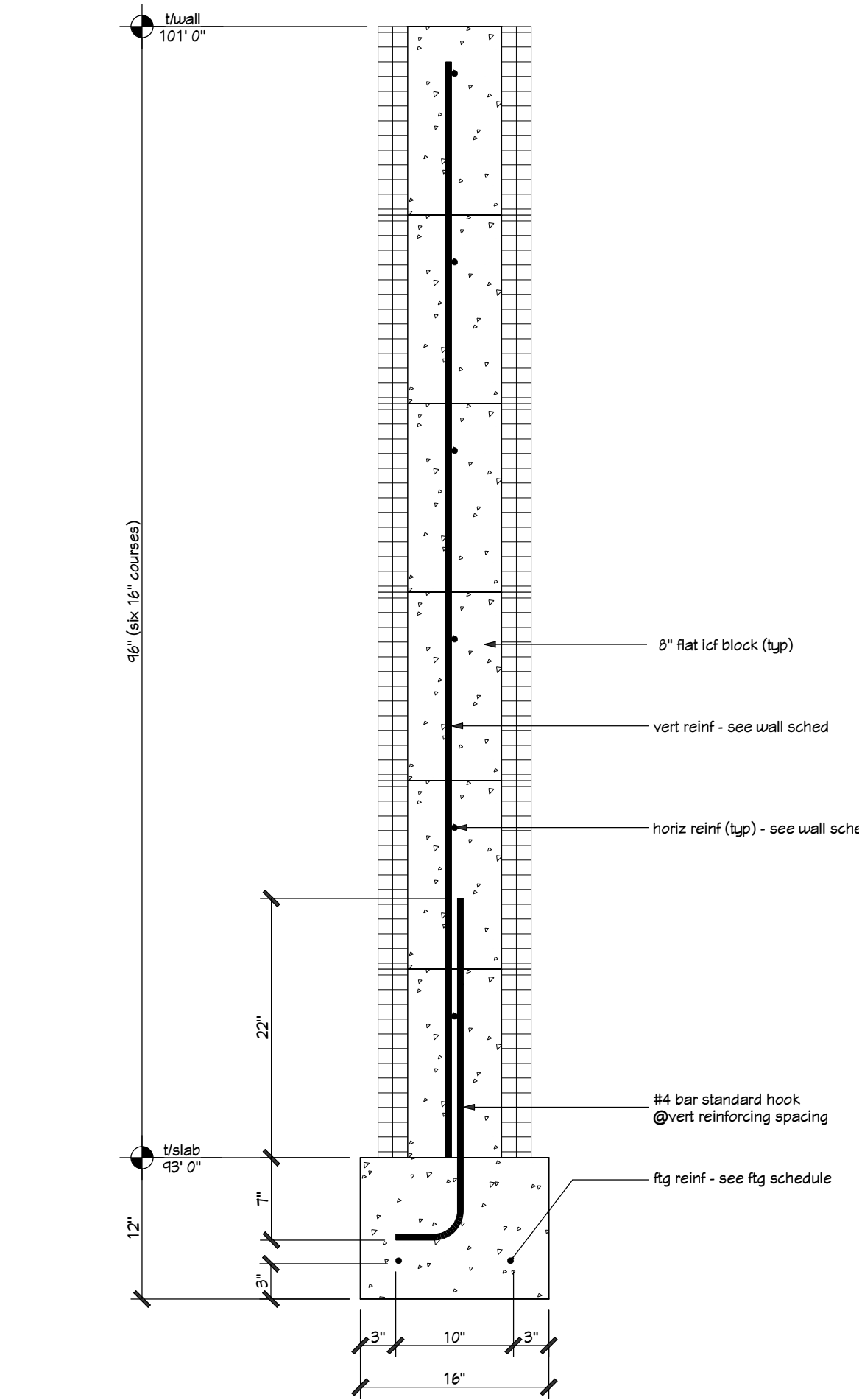
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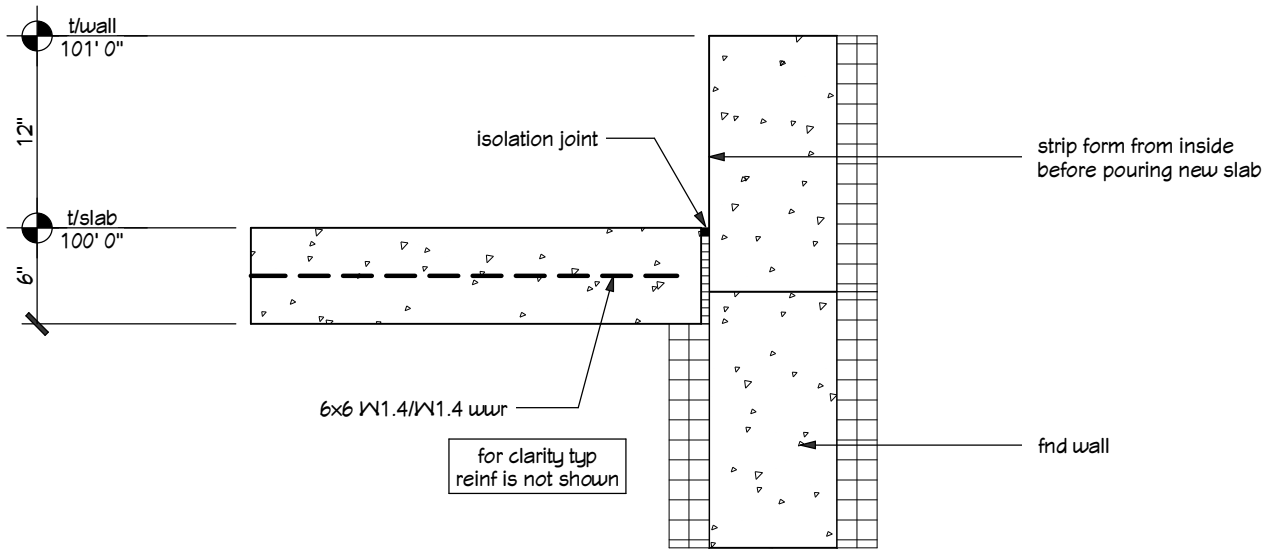




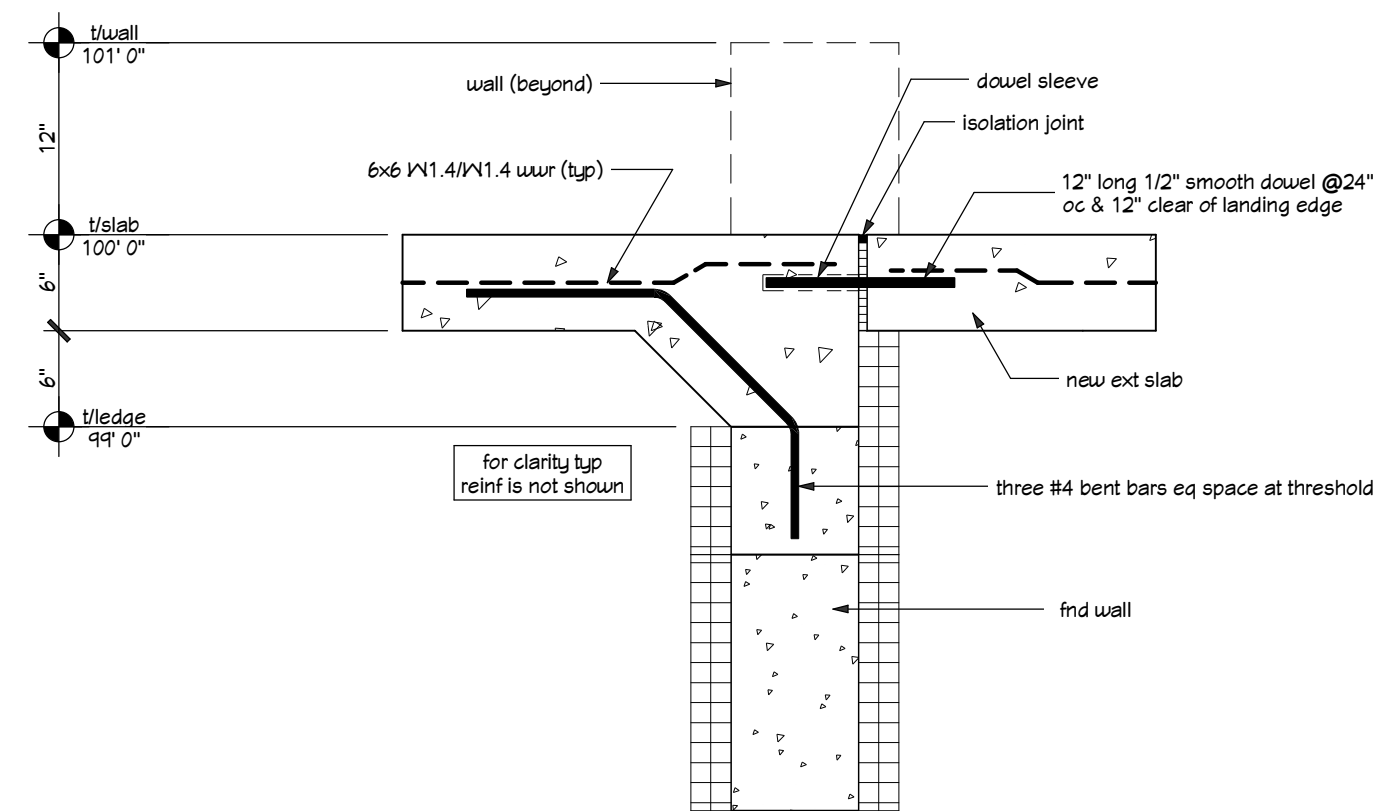
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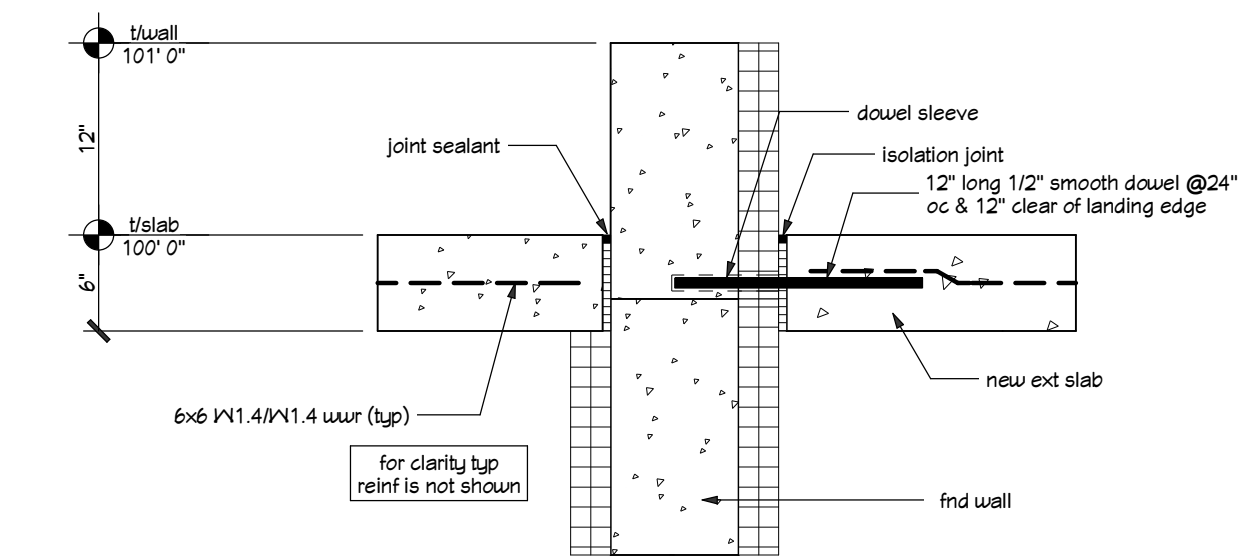
1 'W1' wall section (typ)  
scale: 1" = 1' 0"



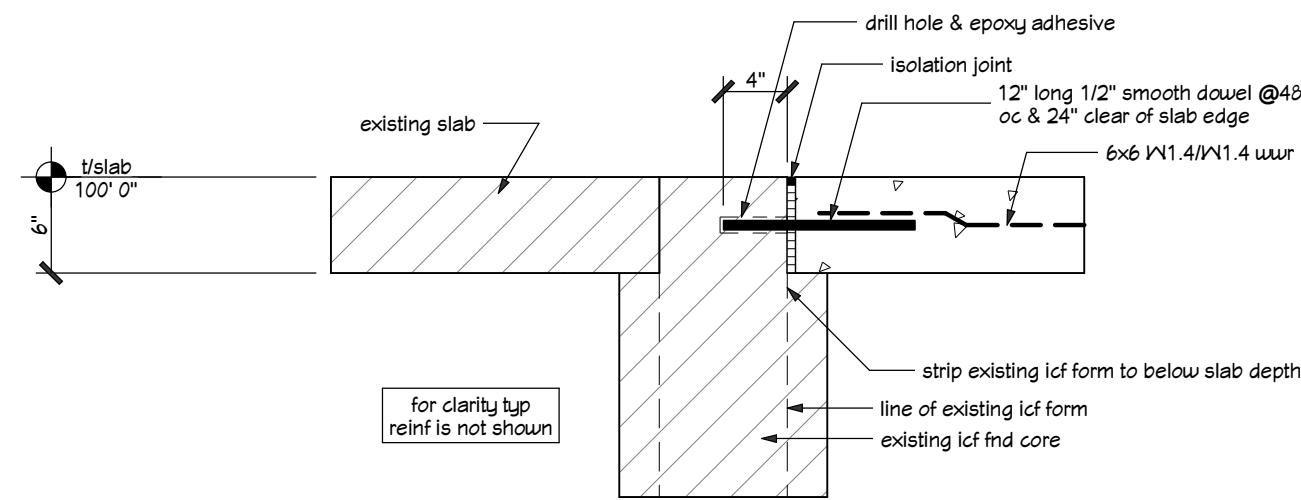
2 new slab at new wall (typ)  
scale: 1" = 1' 0"



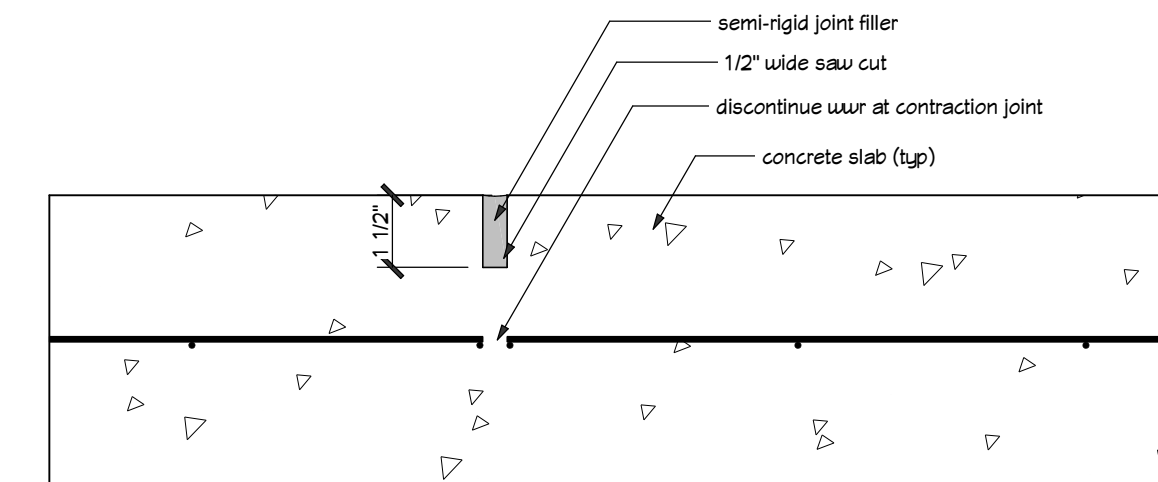
3 new slab at door threshold  
scale: 1" = 1' 0"



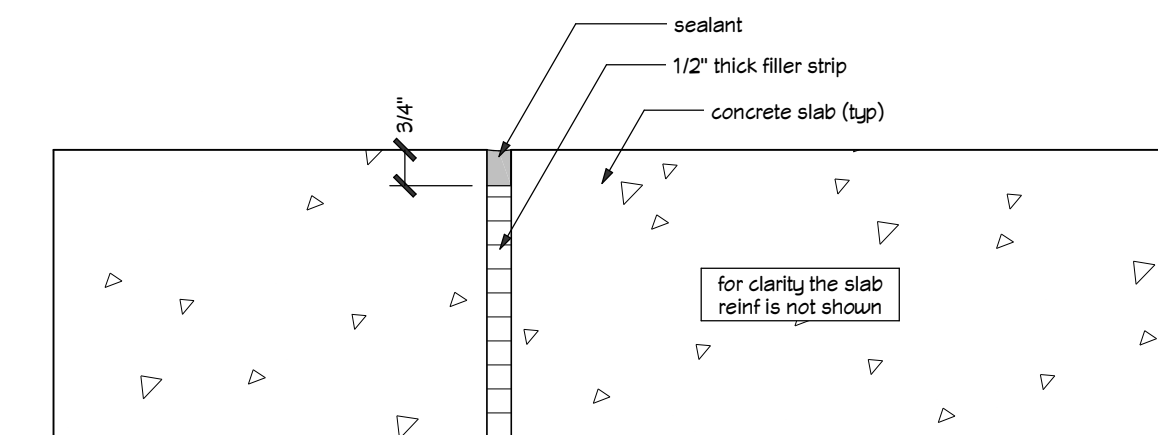
4 new slabs at door landing  
scale: 1" = 1' 0"



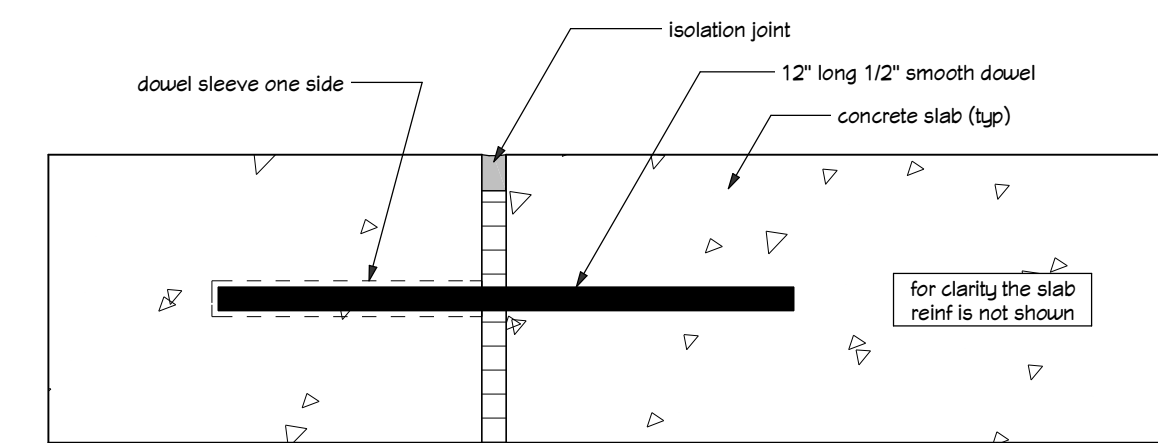
5 new slab at existing wall  
scale: 1" = 1' 0"



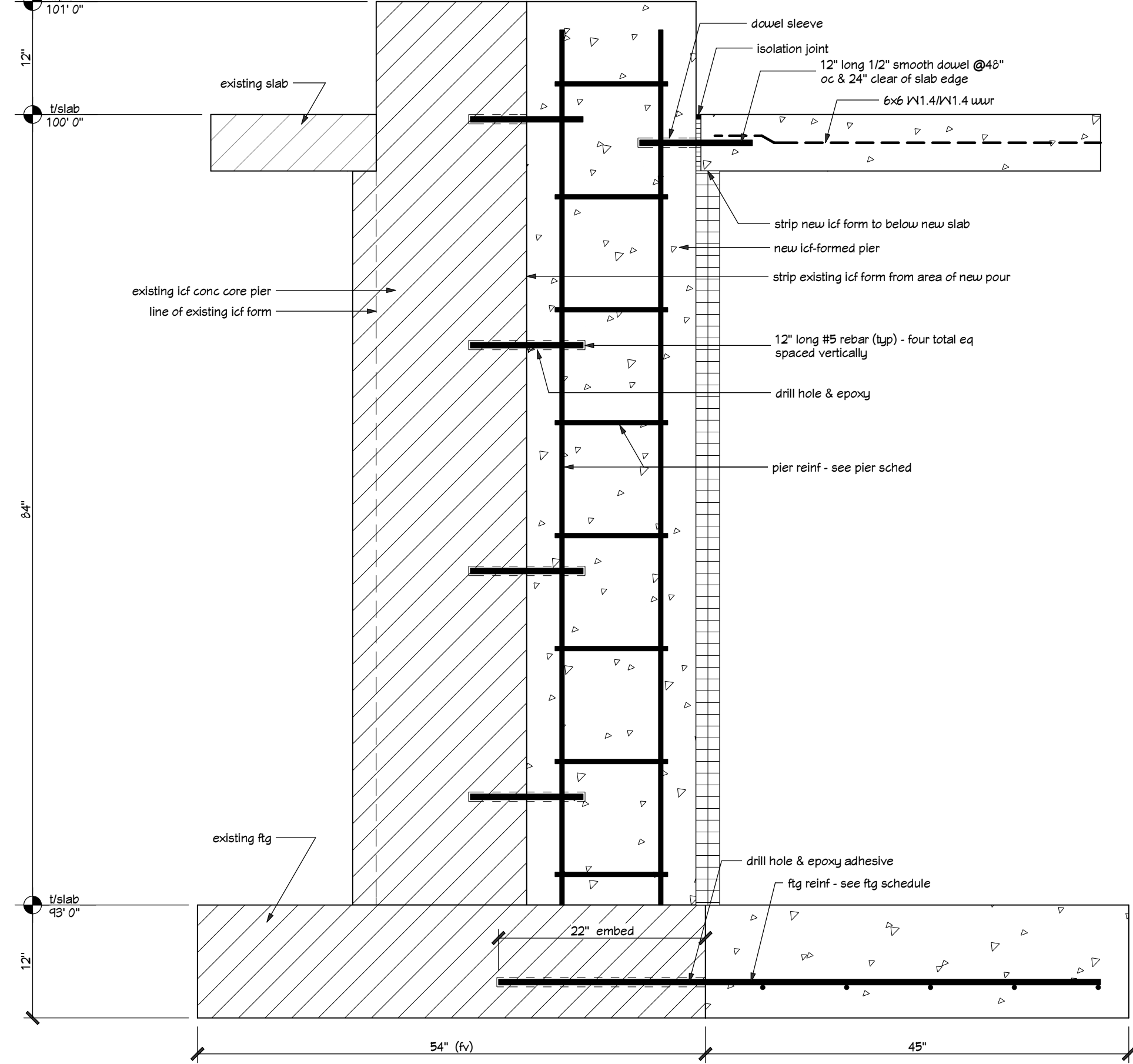
6 contraction joint (typ)  
scale: 3" = 1' 0"



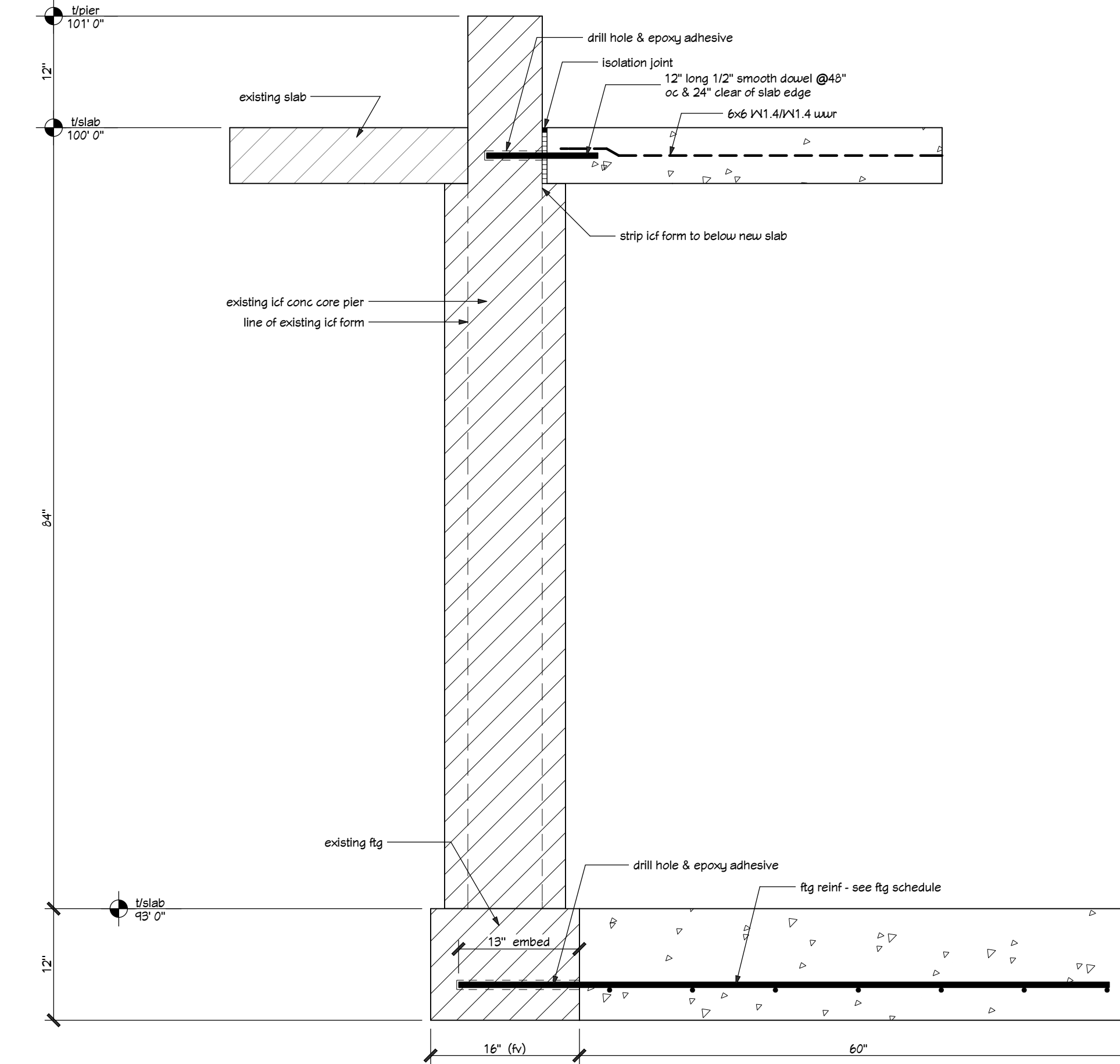
7 isolation joint (typ)  
scale: 3" = 1' 0"



8 construction joint (typ)  
scale: 3" = 1' 0"



9 new pier at existing pier  
scale: 1" = 1' 0"



10 new pier at existing wall  
scale: 1" = 1' 0"

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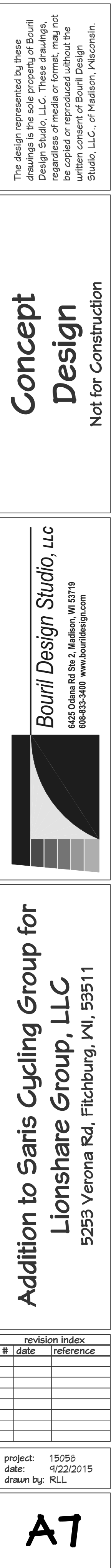
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[illegible]

Project: 15058  
Date: 9/22/2015  
Drawn by: RLL

**A6**



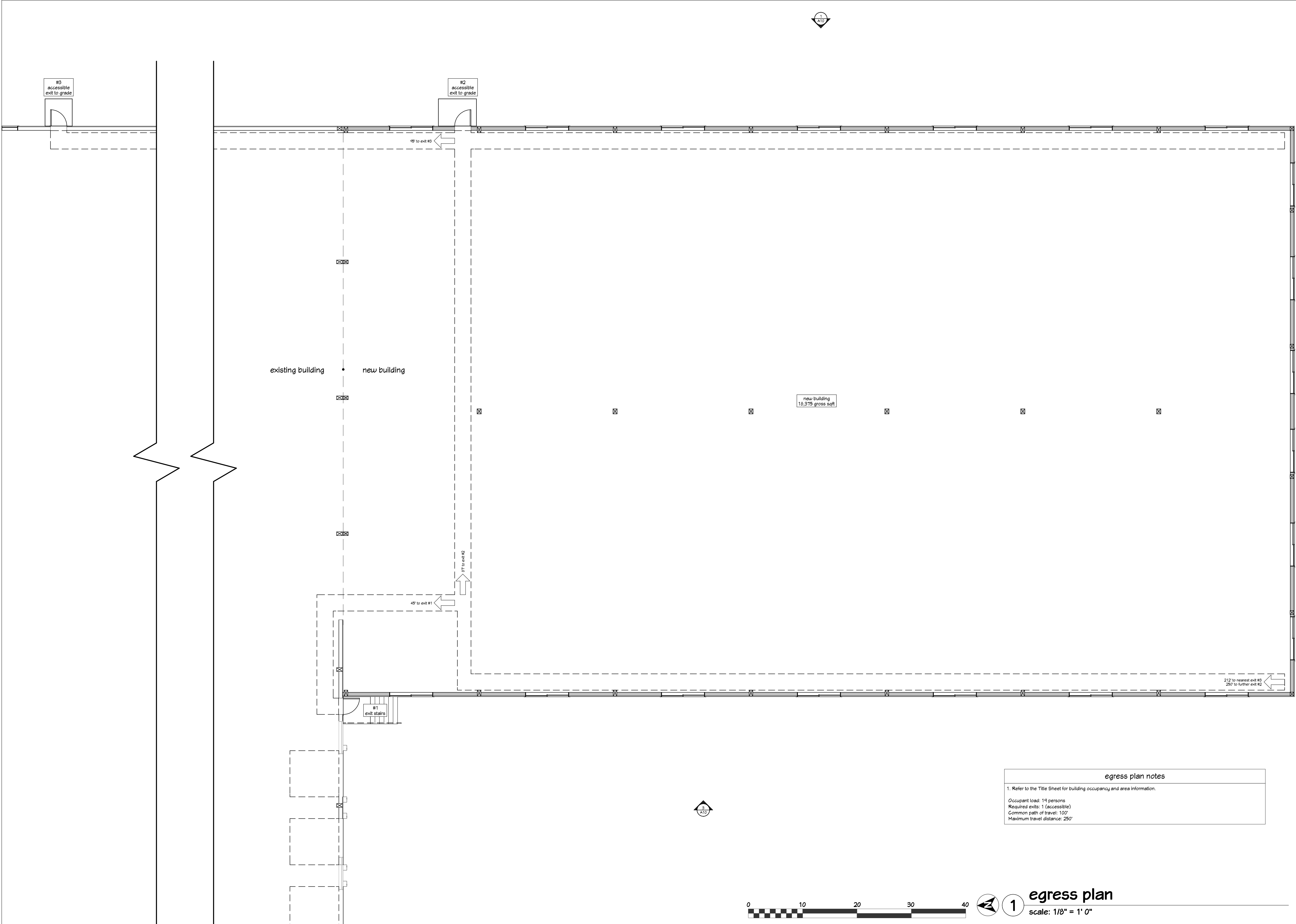




A8



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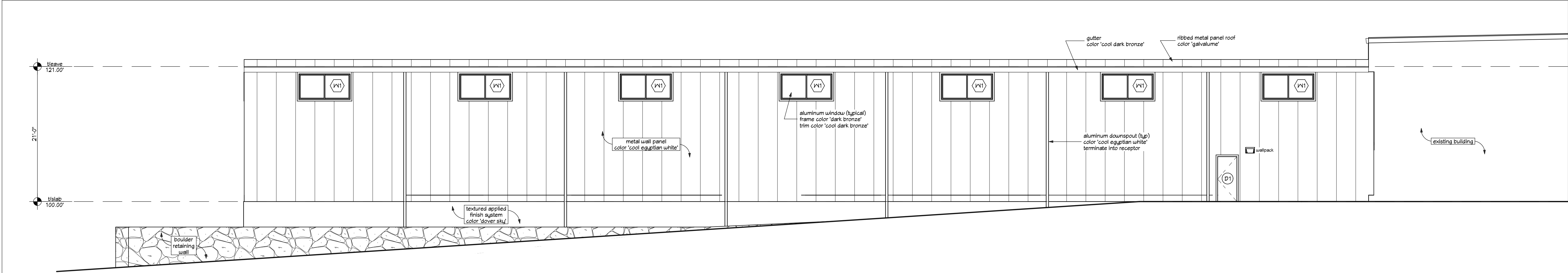
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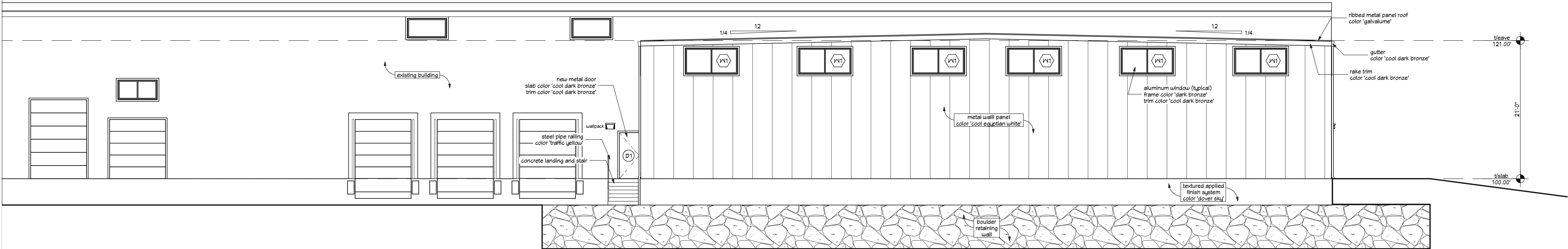
revision index		
#	date	reference

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date: 9/22/2015  
drawn by: RLL

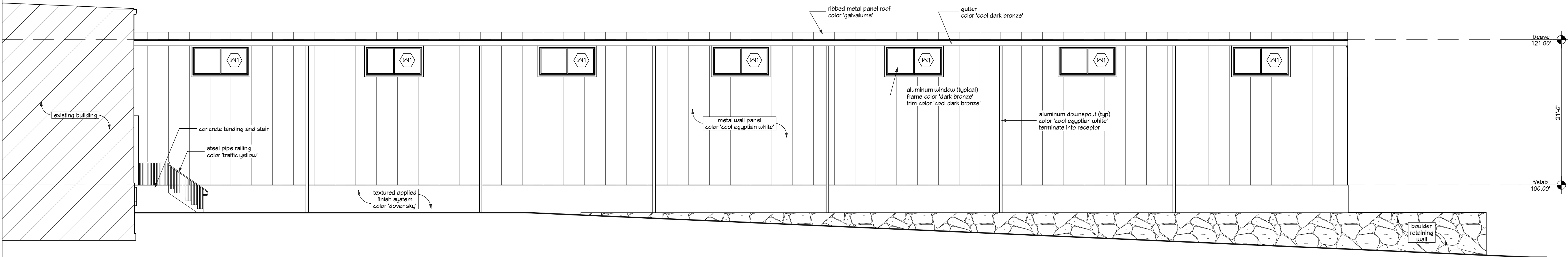
A9



1 east elevation  
scale: 1/8" = 1'-0"



2 south elevation  
scale: 1/8" = 1'-0"



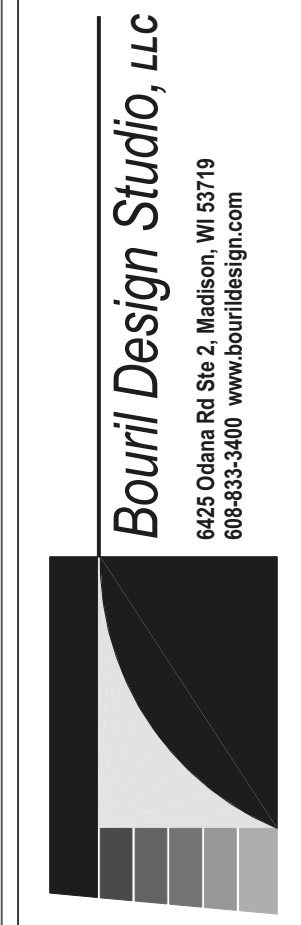
3 west elevation  
scale: 1/8" = 1'-0"



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revision index		
#	date	reference

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drawn by: RLL

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